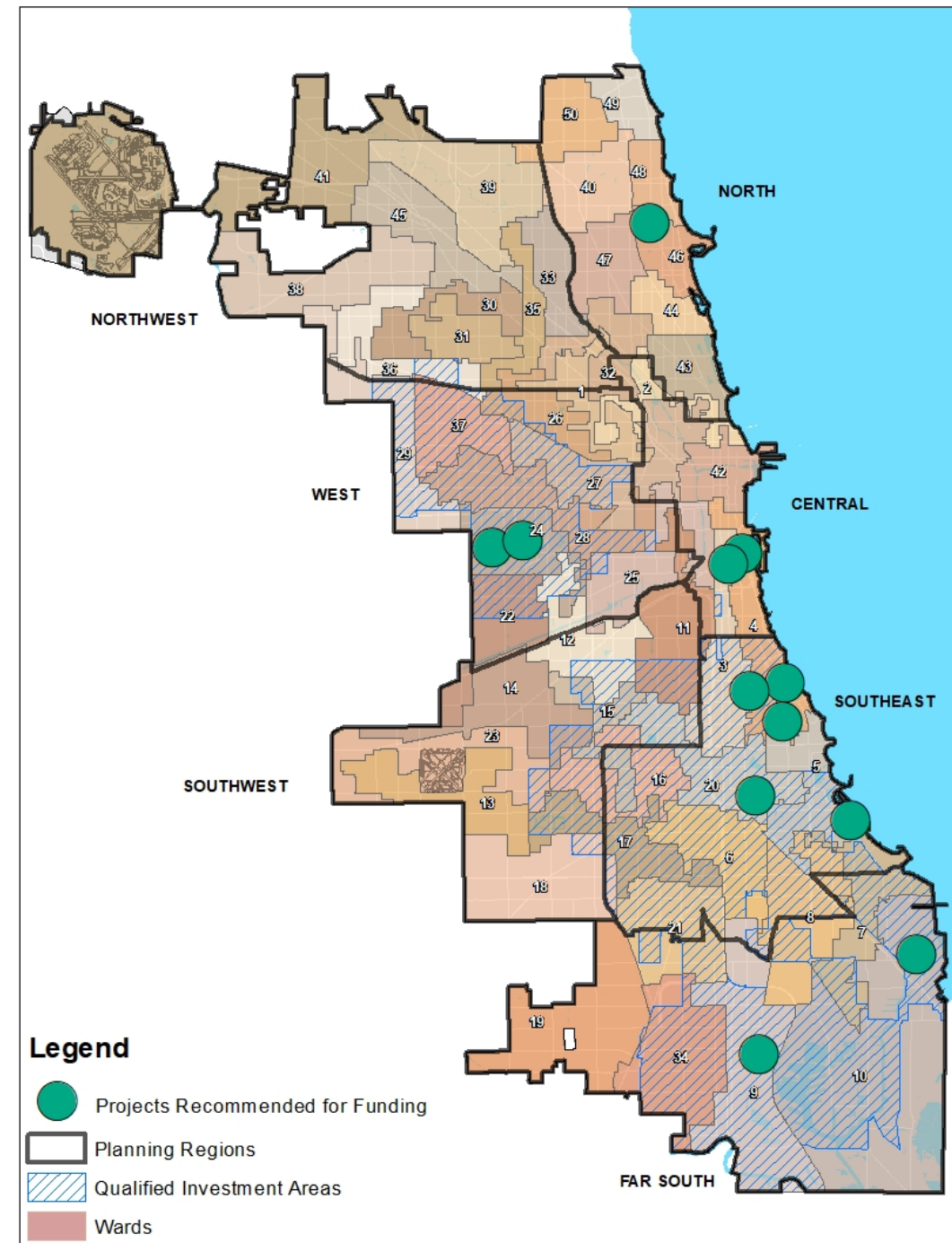


# 2021 Adopt-a-Landmark Informational Status Overview

- The 2021 Funding Priority: Neighborhood Anchors or Neighborhood Commercial buildings
- DPD opened the 2021 Application period in May, 2021 and submissions were due by August 16, 2021.
- DPD received 16 applications and has selected 12 projects for conditional AAL Fund grants from this 2021 funding round thus far.
- Each of the projects presented today will need to come back to the Commission for approval once their work scopes and budgets are finalized.



# 2021 Adopt-A-Landmark Funding Priority

## FUNDING PRIORITY: Neighborhood Anchors and Neighborhood Commercial Buildings

Evaluation Criteria (DPD will evaluate projects based on how many of the following criteria are met)

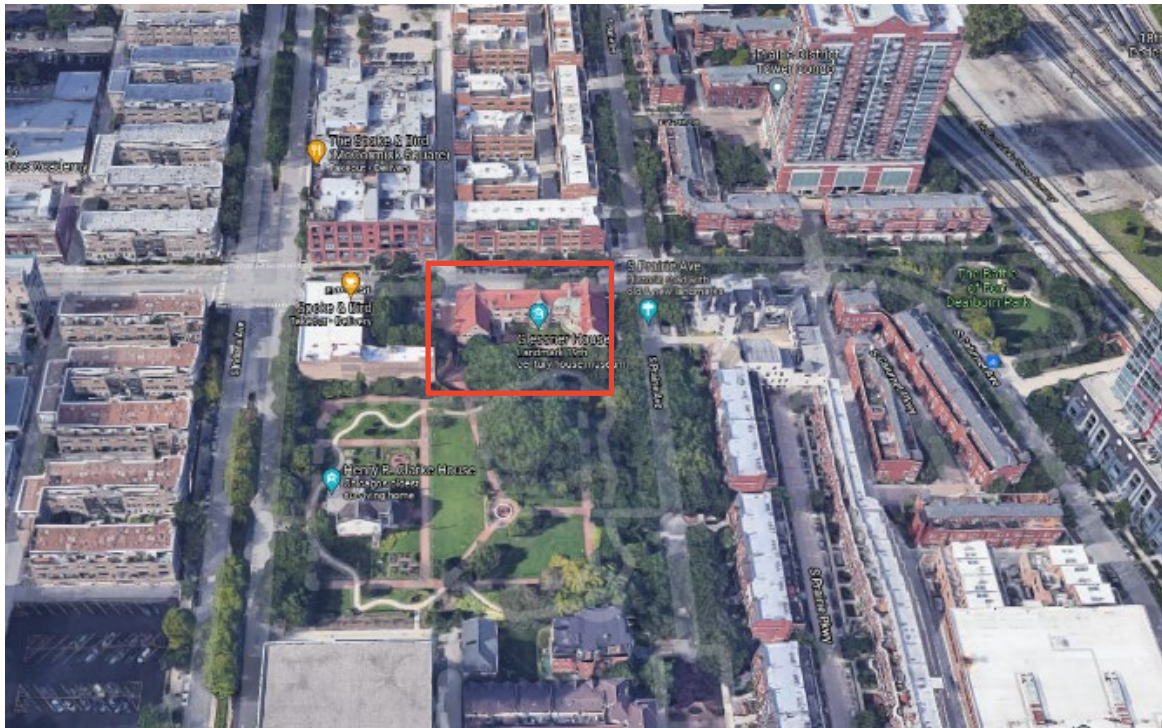
- Projects that have not been completed and that address exterior envelope issues.
- Projects that are located within Qualified Investment Areas with priority to projects that are also in the Invest South/West Community Areas.
- Projects that leverage additional project investment such that the requested Adopt-a-Landmark funds fill financing gaps.
- Projects that will have a positive, catalytic impact on the community in which they are located. The impact may be in the form of new permanent jobs created, commercial leasing to new businesses, providing new services (e.g. soup kitchen, adult education/training, after school programs, child-care services), etc.
- Projects that address /prevent further deterioration of the subject property's structural and architectural integrity caused by natural misfortune (storm damage, fire, flooding, etc.), or buildings that are situationally threatened as determined on a case-by-case basis.
- Projects that will rehabilitate vacant or underutilized buildings to make them ready for occupancy or improve their occupancy. This may include an interior and exterior scope of work with Adopt-a-Landmark funds to be used for qualified exterior work.
- Projects that are “shovel ready” and will be completed in 2 years.

# John J. Glessner House

## 1800 S. Prairie (Near South Side Community Area, Ward 3)



<b>Current Owner</b>	Glessner House Museum
<b>Project Budget</b>	\$108,195
<b>Proposed Award</b>	\$100,000
<b>Project Scope</b>	Phase V of clay tile roof repairs: Northeast corner repointing, northeast corner opening filled and flashed; southeast/west backer rod, sealant, counterflashing; east facade gutter vertical extension; second floor hall west chimney repointing, flashing and copper roof split joints and punctures.
<b>Conditions</b>	Contingent on CCL review of final drawings/details, a detailed scope of work/budget and proof of financing/sources of funds for the total project costs as well as an executed AAL Agreement within two years.

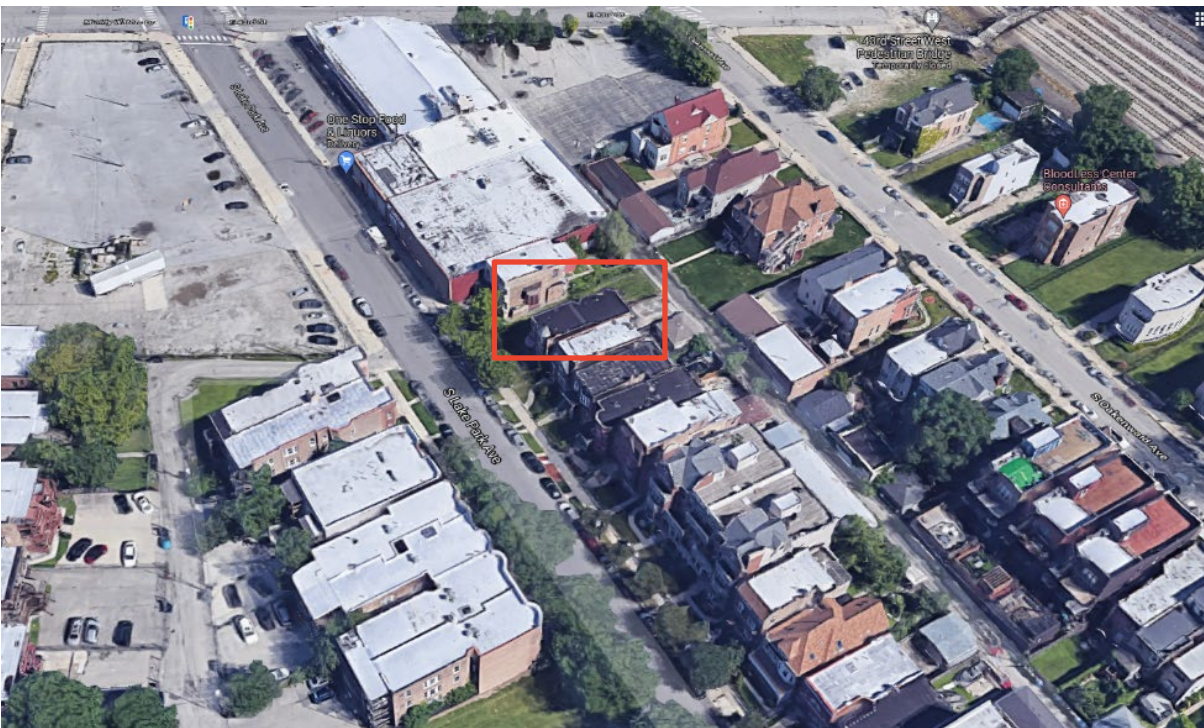


# Muddy Waters House

## 4339 S. Lake Park (Kenwood Community Area, Ward 4)



<b>Current Owner</b>	Chandra Cooper
<b>Project Budget</b>	\$267,290
<b>Proposed Award</b>	\$250,000
<b>Project Scope</b>	West (primary) elevation masonry work (removal of paint, cleaning, repointing), bay window restoration, cornice area repair, porch repair, door and window replacement, replicate storm doors with decorative "flamingo" art grill, new turret finial and limited interior work (1st floor flooring, selective demo of walls, miscellaneous millwork)
<b>Conditions</b>	Contingent on Commission on Chicago Landmarks review of final drawings, a detailed scope of work/budget and proof of financing/sources of funds for the total project costs as well as an executed AAL Agreement within two years.

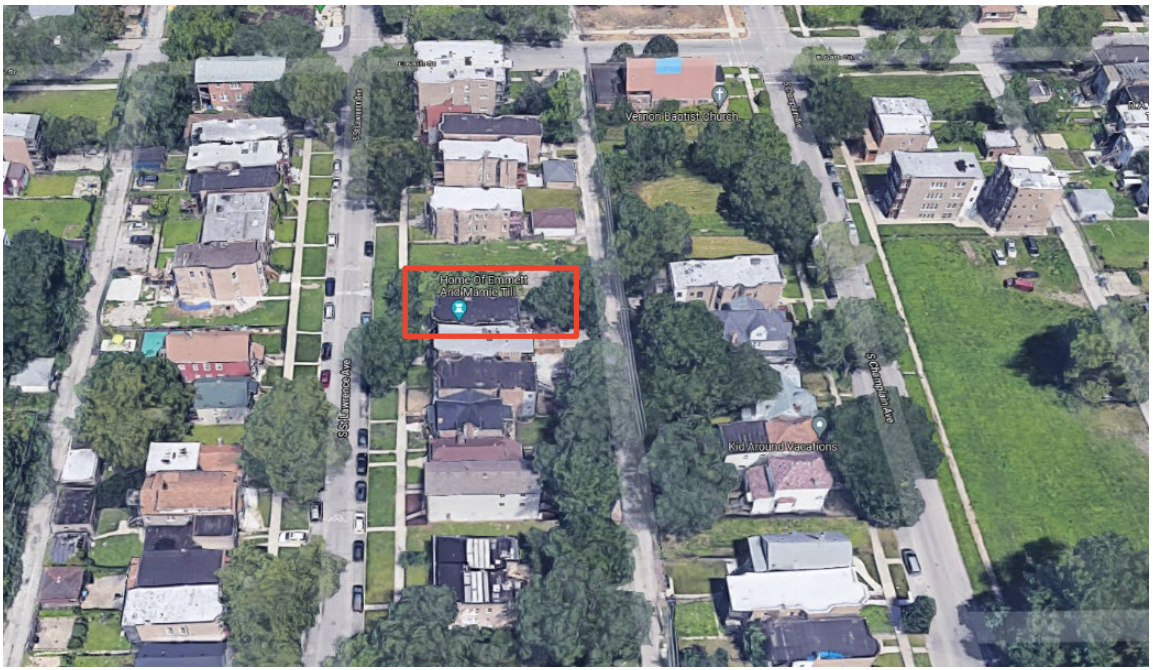


# Emmett Till and Mamie Till-Mobley House

## 6427 S. St. Lawrence (Woodlawn Community Area, Ward 20)



<b>Current Owner</b>	Blacks in Green (BIG), NFP
<b>Project Budget</b>	\$249,541
<b>Proposed Award</b>	\$249,541
<b>Project Scope</b>	Repoint 100% of all masonry at all elevations, rebuild approx 25 LF of parapet wall, clean 100% of west wall elevation, remove all paint at stone on West elevation. Cornice - patch misc areas of existing metal, remove loose paint and prime/paint existing metal, rehabilitate front wooden porch awning, supports and railing, replace entrance and basement doors, screen doors, all windows and roof.
<b>Conditions</b>	Contingent on the Commission on Chicago Landmarks review of final drawings and a detailed scope of work and budget as well as an executed AAL Agreement within two years.

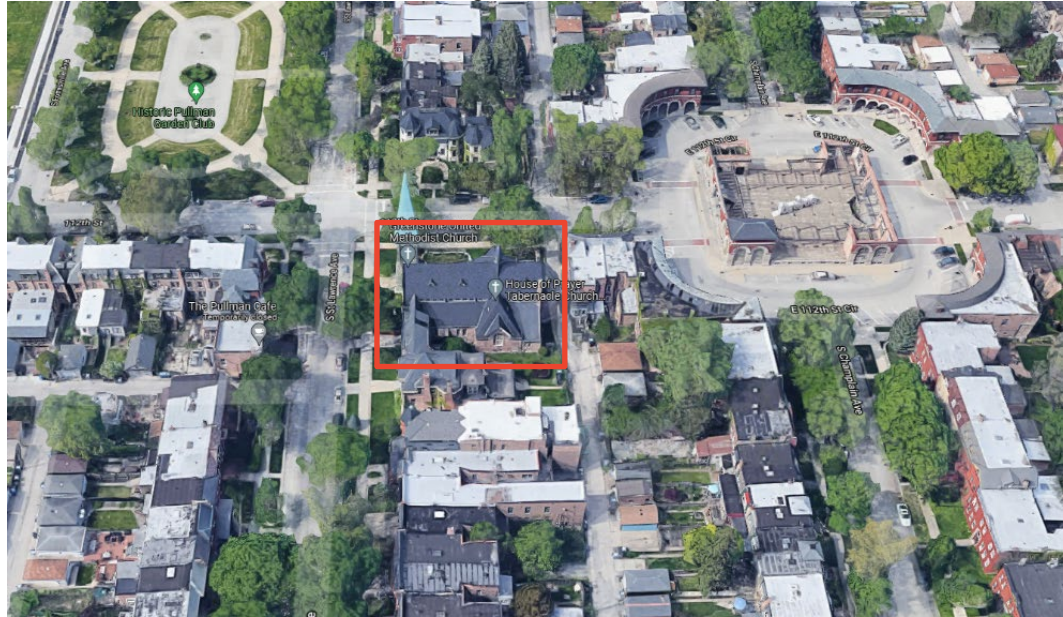


# Greenstone Church - Pullman Landmark District

11211 S. St. Lawrence (Pullman Community Area, Ward 9)



<b>Current Owner</b>	Greenstone United Methodist Church
<b>Project Budget</b>	\$1,084,235
<b>Proposed Award</b>	\$1,084,235
<b>Project Scope</b>	Stabilization and recladding of the bell tower: Disassembly of greenstone belltower masonry, masonry backup repairs, reassembly of tower masonry using alternate materials (75% replacement), miscellaneous tuckpointing, caulking and cleaning and painting of windows/louvers.
<b>Conditions</b>	Contingent on Permit Review Committee/Commission on Chicago Landmarks review of final drawings, replacement materials, and a detailed scope of work/budget as well as City Council approval and an executed AAL Agreement within two years.

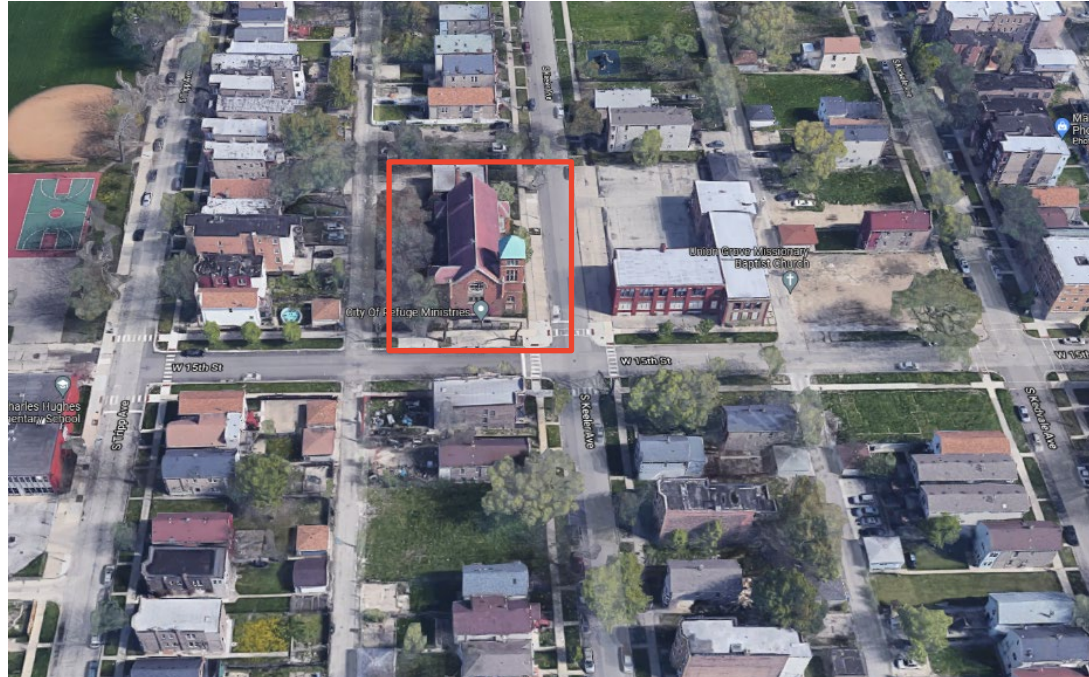


# Pentecostal Church of Holiness

4208 W. 15<sup>th</sup> (North Lawndale Community Area, Ward 24)



<b>Current Owner</b>	Pentecostal Church of Holiness
<b>Project Budget</b>	\$248,000
<b>Proposed Award</b>	\$248,000
<b>Project Scope</b>	Roof/masonry interface repairs, repairs to cast stone tracery at rose windows on the south, east and west facades and environmental testing of extant building materials. Caulk all skyward facing joints, deteriorated mortar joints, recoat and reglaze steel on windows, repairs to broken brick and cast stone and replace deteriorated sealant at window perimeters.
<b>Conditions</b>	Contingent on the Commission on Chicago Landmarks review of final drawings and a detailed scope of work and budget as well as an executed AAL Agreement within two years.



# Second Presbyterian Church

## 1936 S. Michigan (Near South Side Community Area, Ward 3)



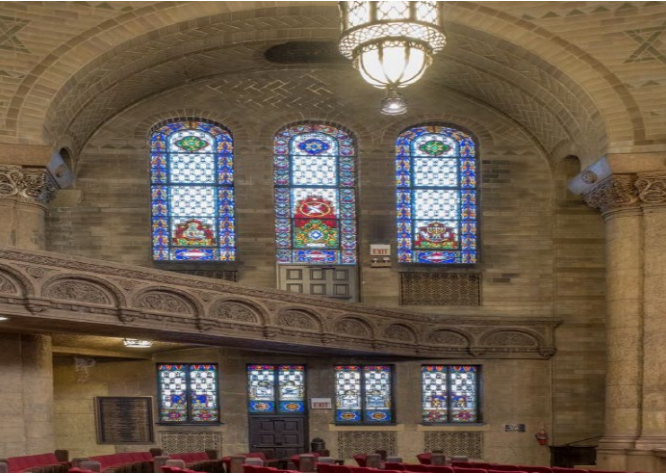
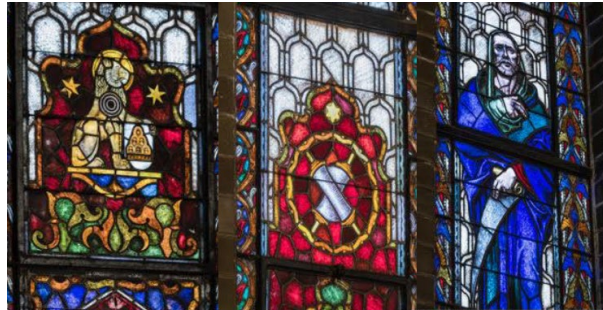
<b>Current Owner</b>	Second Presbyterian Church
<b>Project Budget</b>	\$1,271,595
<b>Proposed Award</b>	\$250,000 (20%)
<b>Project Scope</b>	The overall project includes replacement and repair of the building's electrical system, HVAC and plumbing systems for safety, code compliance and operational efficiency, renovation of offices, publicly accessible meeting rooms and bathrooms and an ADA compliant, architecturally appropriate ramp on the outside of the building.
<b>Conditions</b>	Contingent on Commission on Chicago Landmarks review of final drawings, a detailed scope of work/budget that focuses on eligible AAL work (the exterior ADA ramp is not eligible), and proof of financing/sources of funds for the total project costs as well as an executed AAL Agreement within two years.



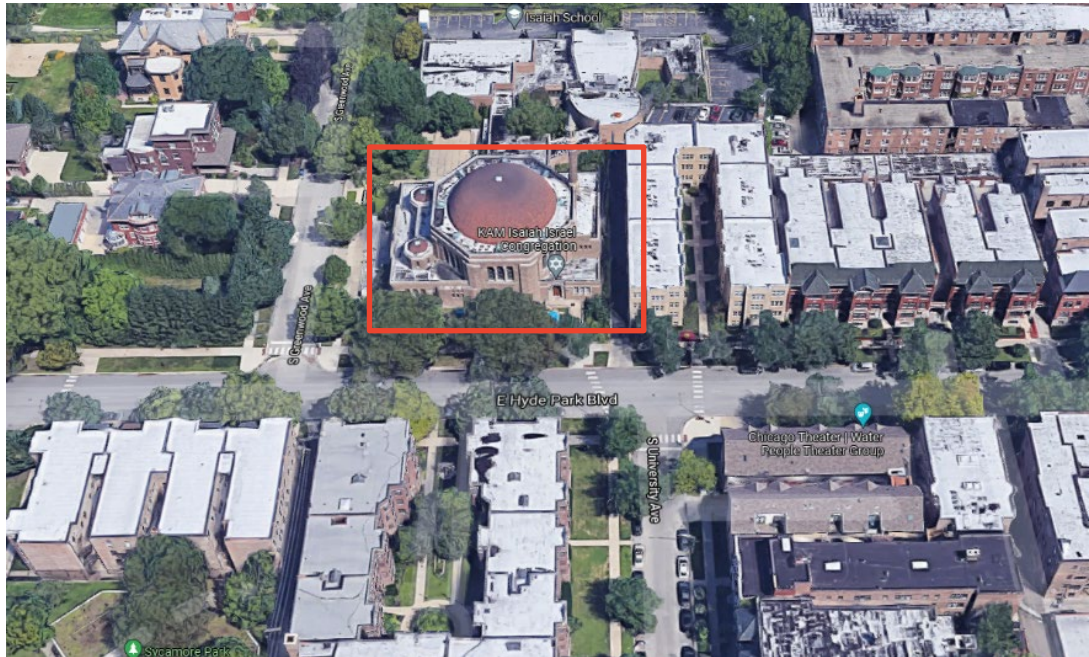


# K.A.M. Isaiah Israel Temple

## 5039 S. Greenwood (Kenwood Community Area, Ward 4)



<b>Current Owner</b>	K.A.M. Isaiah Israel Congregation
<b>Project Budget</b>	\$427,946
<b>Proposed Award</b>	\$250,000
<b>Project Scope</b>	<p>Stained glass window repair/replacement. The project consists of repair and replacement of numerous windows around the main sanctuary, originally installed in 1924 and last restored in 1990.</p> <p>Contingent on Commission on Chicago Landmarks review of final drawings, a detailed scope of work/budget and proof of financing/sources of funds for the total project costs as well as an executed AAL Agreement within two years.</p>
<b>Conditions</b>	

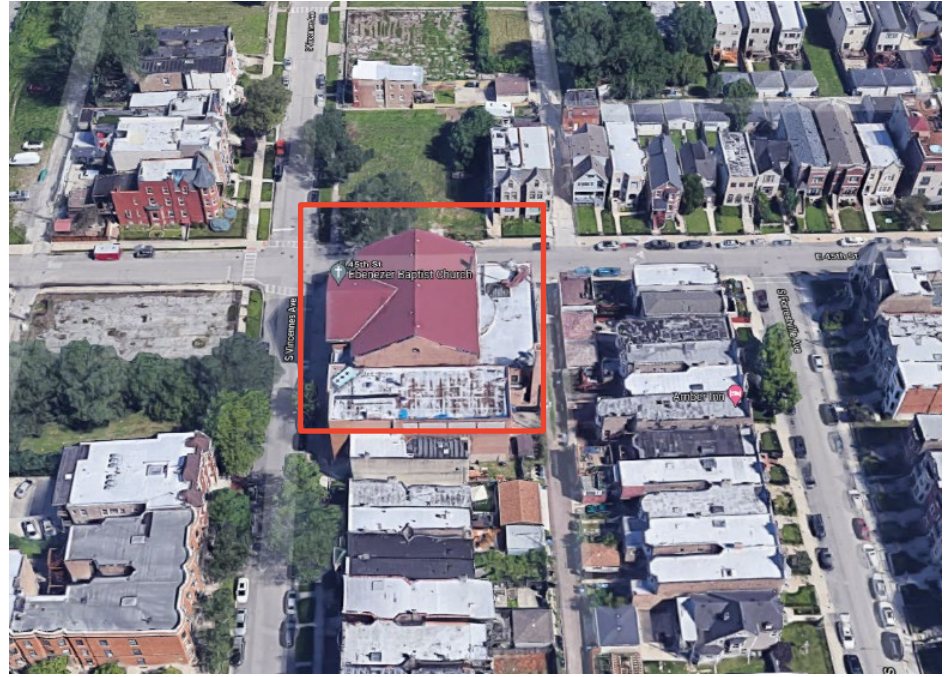
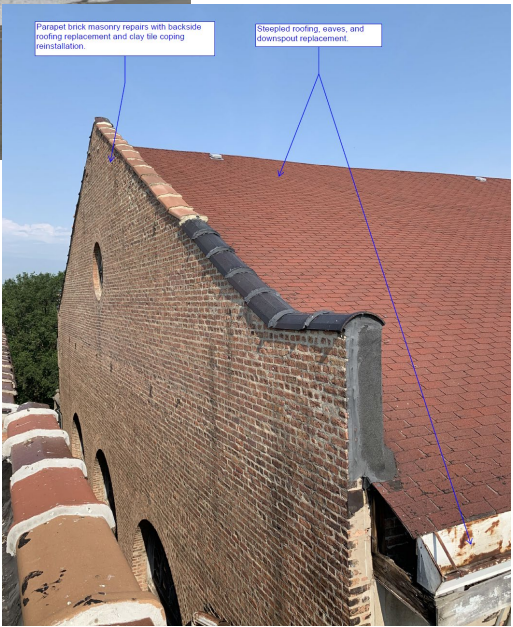


# Ebenezer Missionary Baptist Church

## 4501 S. Vincennes (Grand Boulevard Community Area, Ward 3)



<b>Current Owner</b>	Ebenezer Missionary Baptist Church
<b>Project Budget</b>	\$1,595,800
<b>Proposed Award</b>	\$900,000
<b>Project Scope</b>	Masonry repairs in select areas including chimney tuckpointing/brick repair, and parapet repairs (south, east and north facades), roof repairs and roofing replacement.
<b>Conditions</b>	Contingent on Commission on Chicago Landmarks review of final drawings, a detailed scope of work/budget that prioritizes "safety" issues as outlined on the proposal from Central Building and Preservation and proof of financing/sources of funds for the total project costs as well as City Council approval and an executed AAL Agreement within two years.

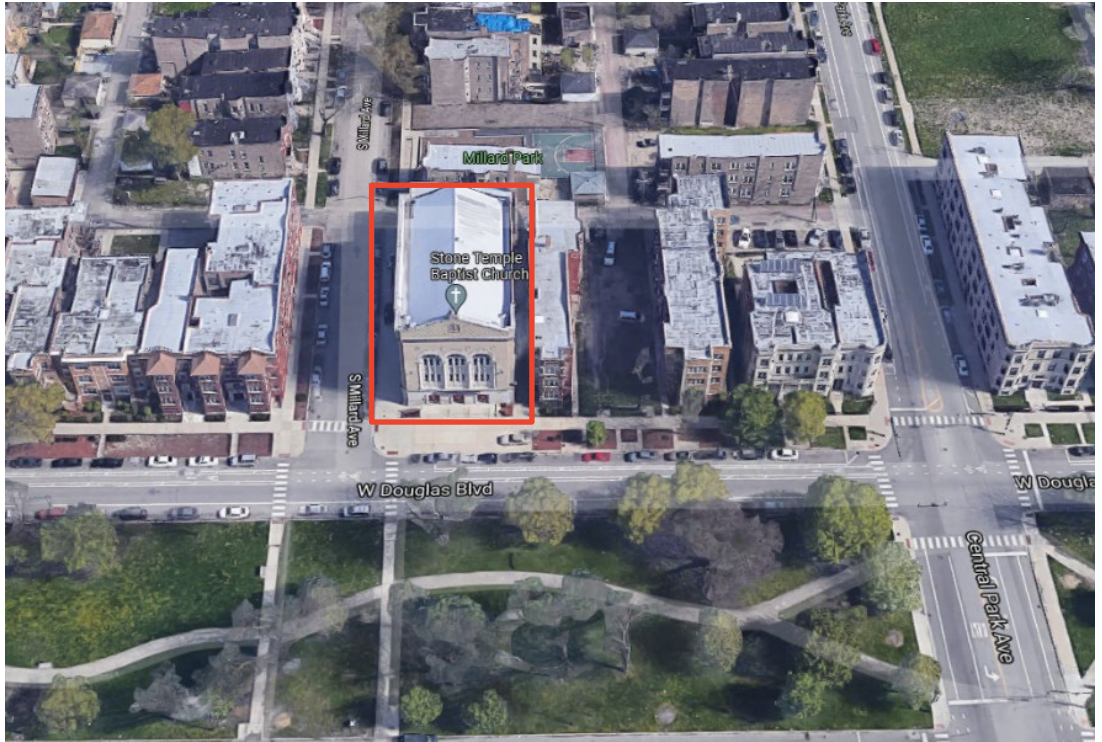


# Stone Temple Baptist Church

3622 W. Douglas (North Lawndale Community Area, Ward 24)



<b>Current Owner</b>	Stone Temple Baptist Church
<b>Project Budget</b>	\$525,000
<b>Proposed Award</b>	\$250,000
<b>Project Scope</b>	The scope consists of interior and exterior work consisting of secondary roof repairs, new front (main) doors replacement, floor repairs, plaster repair and other masonry work.
<b>Conditions</b>	Contingent on Commission on Chicago Landmarks review of final drawings, a detailed scope of work/budget and proof of financing/sources of funds for the total project costs as well as an executed AAL Agreement within two years.

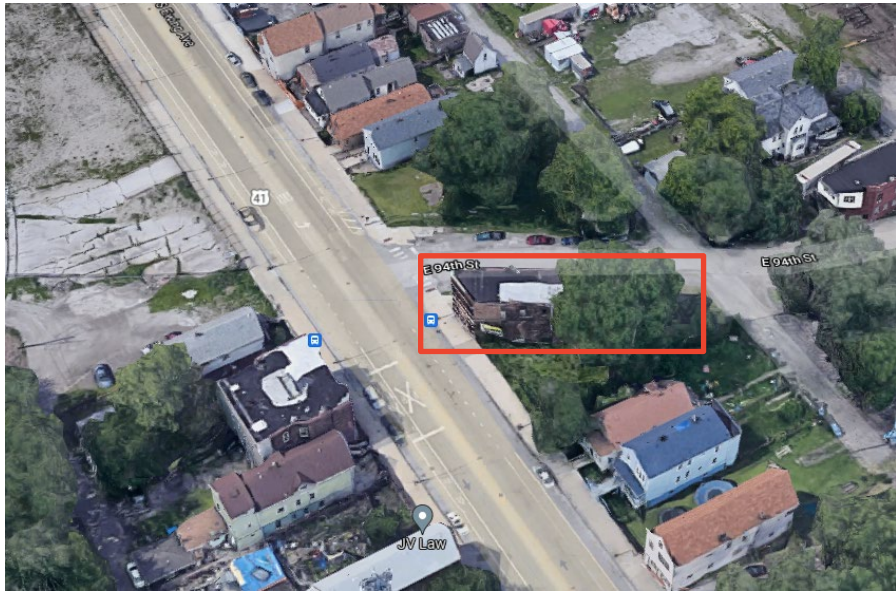


# (Former) Schlitz Brewery-Tied House

## 9401 S. Ewing (East Side Community Area, Ward 10)



<b>Current Owner</b>	Mike and Laura Medina
<b>Project Budget</b>	\$319,260
<b>Proposed Award</b>	\$243,260
<b>Project Scope</b>	Replace roof, repair exterior masonry at all elevations, including lintels, parapets and mortar work, repair existing cornice and replace missing sections, replace windows across front half of 2nd floor, replicate art glass window
<b>Conditions</b>	Contingent on Commission on Chicago Landmarks review of final drawings, a detailed scope of work/final budget and a commitment of \$76,000 in private financing as indicated in the AAL application as well as an executed AAL Agreement within two years.



# 1215 W. Gunnison Building - Uptown Square Landmark District

## 1215 W. Gunnison (Uptown Community Area, Ward 46)



<b>Current Owner</b>	The Gunnison Street Lofts Residential Condominiums
<b>Project Budget</b>	\$2,025,000
<b>Proposed Award</b>	\$250,000
<b>Project Scope</b>	EAST and NORTH (Primary) Facades: Removal of terra cotta in locations per WJE condition assessment, removal and replacement of substructure steel and installation of the terra cotta. Includes fabrication of some new pieces of terra cotta and rebuilding of several parapet walls.
<b>Conditions</b>	Contingent on Commission on Chicago Landmarks review of final drawings, a detailed scope of work/budget and proof of financing/sources of funds for the total project costs as well as an executed AAL Agreement within two years.



# 6901 Oglesby Cooperative Apartment Bldg.

## 6901 S. Oglesby (South Shore Community Area, Ward 5)



<b>Current Owner</b>	6901 Oglesby Condo Association
<b>Project Budget</b>	\$369,370
<b>Proposed Award</b>	\$249,999
<b>Project Scope</b>	Per Critical Report completed in 2019 the project to consist of Phase 2 repairs to masonry façade (Oglesby Main façade and part of 69 <sup>th</sup> Street main façade) including parapet walls reconstruction/flashing work and some tuckpointing. Phase 1 is currently on-going per 2021 building permits.
<b>Conditions</b>	Contingent on Commission on Chicago Landmarks review of final drawings, a detailed scope of work/budget and proof of financing/sources of funds for the total project costs as well as an executed AAL Agreement within two years.

